

Reference: 15/00920/HOU

Applicant: Mr & Mrs Sandrovitch

Location: 2 Church Road Peckleton Leicester

Proposal: Raising of roof, erection of first floor and insertion of dormer windows to front

RECOMMENDATION:- Grant subject to conditions.

Introduction:-

The application has attracted interest from occupiers of five or more addresses (including the Parish Council), the views of which are contrary to the officer recommendation.

Application Proposal

This application seeks full planning permission to raise the height of the roof from 4.6 metres to 7.9 metres to allow the insertion of a first floor to provide an additional two en-suite bedrooms and a study. The height of the eaves of the dwelling would increase from 2.5 metres to 2.8 metres, resulting in a steeply dual pitched roof.

Three dormer windows are proposed to the front elevation and one obscure glazed window is proposed to each side elevation. Amended plans were received to address officer concerns in respect of privacy from the originally proposed dormer windows to the rear elevation. As a result, four velux windows are proposed to the rear elevation.

The Site and Surrounding Area

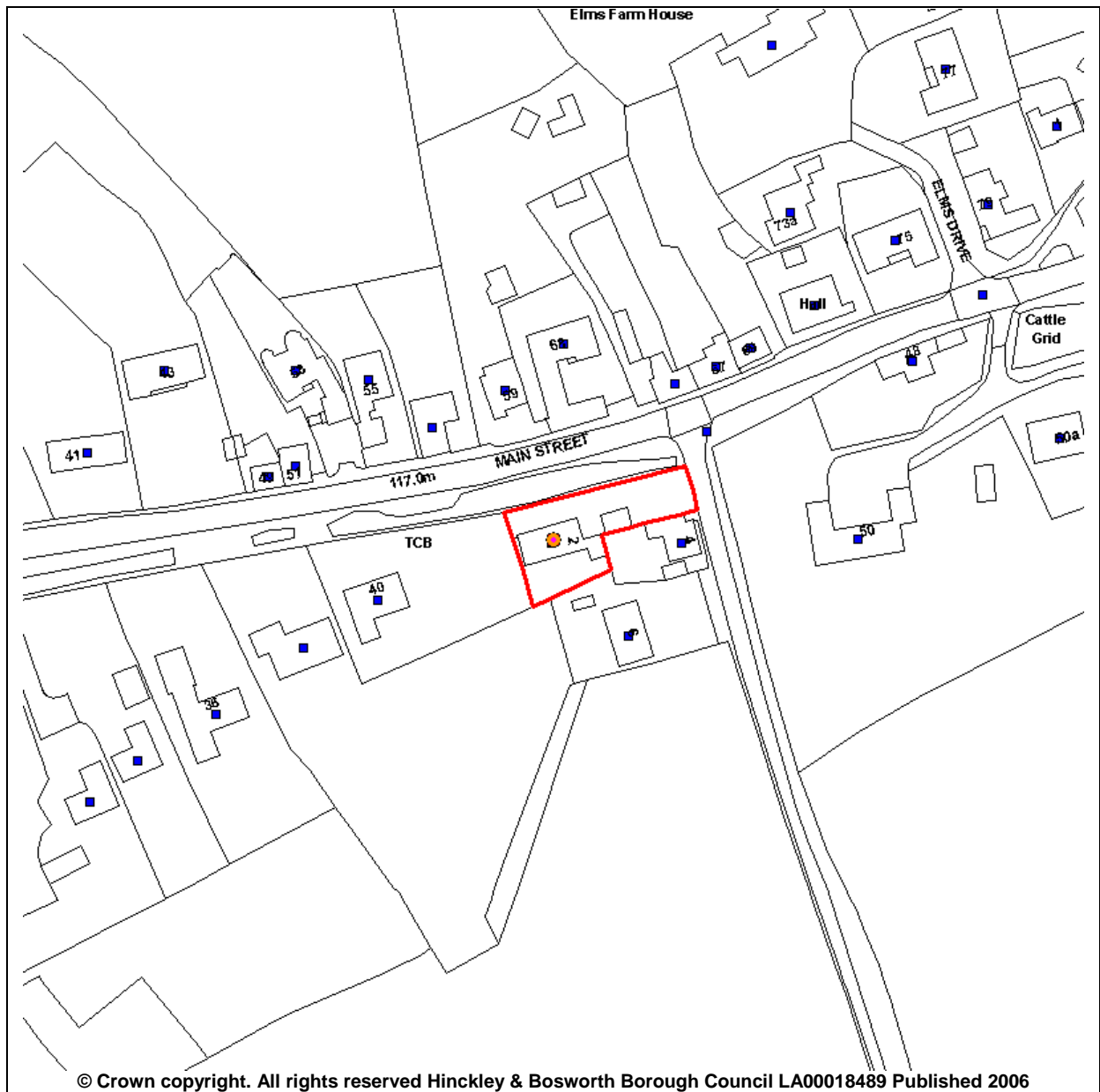
The dwelling comprises of a detached bungalow sited on the corner of Church Road and Main Street within the settlement of Peckleton. The dwelling is constructed of brown brick with white render, brown concrete roof tiles and UPVC windows and doors. Located approximately 0.55 metres to the north east of the dwelling lies a detached single storey garage.

The application site is set prominently on an embankment adjacent to Main Street with no boundary treatment. To the side (west) of the application site, the curtilage is defined by a 1.8 metre high boundary fence with a high tree line. At the rear of the application site, the curtilage is defined by a part 1 metre and part 1.8 metre high boundary fence.

The surrounding area consists of a range of detached dwellings both single storey and two storey in nature. Two other properties are located immediately adjacent to the application site, one a two storey property and one a bungalow. The properties located opposite the application site on Main Street consist of a mix of two storey and one and a half storey properties.

Relevant Planning History:-

89/00857/4	Alterations and extensions to existing Residence	Approved	22.08.1989
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Consultations:-

An objection has been received from Peckleton Parish Council in respect of:-

- Overlooking upon the surrounding properties
- Out of character with area
- Privacy upon the neighbouring properties.

Neighbours were notified and objections were received from 4 different addresses raising the following issues:-

- Impact upon privacy
- Overlooking
- Out of character with the existing properties
- Loss of light
- Height of the proposal in relation to the neighbouring properties
- The property value of neighbouring properties.

Policy:-

National Planning Policy Framework (NPPF) 2012

Hinckley and Bosworth Local Plan 2001

Policy BE1 - Design and Siting of the Development

Policy T5 - Highway Design and Vehicle Parking Standards.

Emerging Site Allocations and Development Management Policies (DPD) (SADMP)

Policy DM10 - Development and Design

Policy DM18 - Vehicle Parking Standards

Supplementary Planning Guidance: House Extensions Design Guidance (SPG)

Appraisal:-

The main considerations are:-

- The impact on the character and appearance of the area.
- The amenities of the occupiers of neighbouring properties.
- The impact on the provision of parking.

Impact on the character and appearance of the area

Policy BE1 (criterion a) of the Local Plan 2001, Policy DM10 of the Emerging SADMP and SPG on House Extensions requires new development to complement or enhance the character of the surrounding area with regard to scale, layout, density, mass, design, materials and architectural features.

The application site is set on the corner of Church Road and Main Street. The site is elevated from the street level of Main Street; however the site is on the same level as the immediate neighbouring properties 4 and 6 Church Street. The character of the street includes a mixture of single and two storey dwellings. The immediate neighbouring property to the east 4 Church Road is two storeys in height and the neighbouring property to the south 6 Church Road is single storey in height. This mixture of scale and heights continues along Main Street.

The proposal is for an increase in roof height to the existing dwelling from 4.6 metres to 7.9 metres, with the insertion of dormer windows to the front elevation and Velux windows to the rear elevation. These alterations would result in an alteration to the character of the dwelling to a dormer bungalow. It is considered that the height of the proposal is in keeping with the character of the area, due to the mix of dwelling heights along Main Street. Whilst the site is within a higher position to the footpath on Main Street, it does not sit alone and the proportions and height of the dwelling would not be out of keeping with the neighbouring property 4 Church Road.

The insertion of dormer windows to this property would compliment the character of the street as they would be similar in nature to the existing dormer windows of no. 57 and 59 Main Street opposite the application site. The Velux windows proposed to the rear would be visible from Church Street; however it is considered that these would not harm the character of the area, as they would not detract significantly from the design of the roof.

The proposed materials for the walls, roof and windows would match the existing materials of the dwelling and would therefore complement the character of the existing building.

It is therefore considered that whilst the scale and height of the dwelling would be increased, it is considered to complement the character of the existing dwelling and street scene due to the mix of bungalows and two storey dwellings within the area. The proposal is therefore considered to be in accordance with the Policy BE1 (criterion a) of the Local Plan (2001), Policy DM10 of the Emerging SADMP and the SPG on House Extensions.

Impact on the neighbouring properties

Policy BE1 (criterion i) of the Local Plan 2001 and Policy DM10 of the Emerging SADMP states that proposals should not adversely affect the occupiers of the neighbouring properties. The nearest residential properties are 4 Church Road to the east and 6 Church Road to the west.

Amended plans were received to address officer concerns in respect of privacy and overlooking upon no. 4 and 6 Church Road. The proposed rear elevation would include 4 velux windows with a minimum height of 1.8 metres reducing the severity of privacy impacts. Furthermore, two of the proposed windows would serve a non-habitable room (landing).

No. 4 Church Road is a two storey detached dwelling located approximately 11 metres south east of the application site. Due to the siting and orientation of the application dwelling there would be minimal impact upon the residential amenity of no. 4 in regards to privacy and overlooking. There is a proposed window located on the side (east) elevation; however this would be obscured glazed to prevent any impacts upon privacy. A condition is recommended to ensure that the side (east) window at first storey level is obscure glazed and the opening is limited to 30 degrees to avoid overlooking to the neighbouring rear garden. Due to the offset positioning between the application site and no. 4 the impact upon overshadowing and loss of light is considered to be minimal and would not be harmful to the existing residential amenity of no. 4.

No. 6 Church Road is a detached bungalow located approximately 6.5 metres from the proposed rear elevation of the application property. The proposal includes Velux windows to the rear boundary, however the cil height of these windows are to be 1.7 metres, which would be at a height to avoid overlooking into the rear garden of No. 6. Due to the location of the property and the siting of No. 6 the proposal would not result in a loss of light of overbearing impact to existing windows or the rear garden. It is therefore considered that the proposal would not be detrimental to the residential amenity of No 6.

No. 40 Main Street is situated 30 metres to the west of the site and is heavily screened by mature vegetation and trees to the north, east and south. Whilst the application site sits on a higher level than this property it is considered due to the distance and extensive planting the proposal would not have a detrimental impact upon the amenity of No 40.

Whilst the application dwelling sits in a higher position than the properties on the opposite side of the road (Nos 57, 59, 63) there is a minimum distance of over 20 metres and they are separated by a road. Due to this it is considered that the proposal would not harm the residential amenity of these properties.

It is therefore considered that the proposal would not be detrimental to the residential amenity of neighbouring properties and is therefore considered to be in accordance with Policy BE1 (criterion i) of the Local Plan 2001 and Policy DM10 of the Emerging SADMP.

Impact on the provision of parking

Policy BE1 (criterion g) and T5 of the Local Plan 2001 and Policy DM18 of the Emerging SADMP states that proposals ensure that there is adequate provision for on and off street parking for residents and visitors.

The proposal creates the addition of 2 bedrooms, resulting in a 5 bed property. Four parking spaces are provided on site with a further garage space, which exceeds the parking requirements for a five bed roomed property. Therefore the proposal is considered to be in accordance with Policy BE1 (criterion g) and T5 of the Local Plan 2001 and Policy DM18 of the Emerging SADMP.

Other Matters

A comment has been received in respect of the property value of neighbouring properties. However, this point is not a material planning consideration in the determination of this application.

Conclusion

It is considered that the proposed extension would respect the scale and character of the existing dwelling and street scene, retain adequate private amenity within the curtilage and would not adversely effect the amenities of the occupiers of neighbouring properties. The application is considered to be in accordance with Policies BE1 (a, i and g) and T5 of the Local Plan 2001, Policy DM10 and DM18 of the Emerging SADMP and the SPG on House Extensions and is therefore recommended for approval subject to conditions.

RECOMMENDATION:- Grant subject to conditions.

Summary of Reasons for Recommendation and Relevant Development Plan Policies :

Conditions:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 2 The development hereby permitted shall not be carried out otherwise than in complete accordance with the submitted application details, as follows: Proposed Floor Plans and Elevation drg no. 15/0125 05 Rev 02 at a scale of 1:50 received 09 October 2015, Proposed Elevations drg no. 15/0125 04 Rev 02 received 09 October 2015.
- 3 The materials to be used on the external elevations of the proposed extension and alteration shall match the corresponding materials of the existing dwelling.
- 4 Notwithstanding the provisions of Article 3, Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), the window in the first floor side (eastern) elevation shall be obscure glazed and its opening shall be restricted to 30 degrees before the development hereby permitted is first occupied and shall thereafter be permanently retained in this approved form.

Reasons:-

- 1 To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 For the avoidance of doubt and in the interests of proper planning.

- 3 To ensure that the development has a satisfactory external appearance to accord with Policy BE1 (criterion a) of the adopted Hinckley and Bosworth Local Plan 2001.
- 4 To ensure the development does not have a detrimental impact upon neighbouring residential amenity to accord with Policy BE1 (criterion i) of the Hinckley and Bosworth Local Plan 2001 and emerging Policy DM10 of the Site Allocations and Development Management Policies DPD.

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.
- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).

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